

South Coast  
**Home ✓ Check**

Building Consultants.

Pre Purchase Building & Pest Reporting - Viability & Condition Reporting - Asset Management.

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## **PROPERTY INSPECTION REPORT**

The Building Condition Inspection Report is carried out in accordance with Australian Standard AS 4349.1 - 2007 Inspection of Buildings. Part 1: Pre Purchase Inspections – Residential Buildings. This Property Inspection Report is issued subject to the scope, Exclusions and definitions of inspection and report as set out in this document.

**NAME OF CLIENT:**

**INSPECTED PROPERTY:**

**DATE OF INSPECTION:**

**YOUR REF + REPORT No: 7217**

**REPORT COMMISSIONED BY: Client**

**Note:** This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

**SUPPORT DOCUMENTATION WAS NOT SUPPLIED BY THE CLIENT AT THE TIME OF INSPECTION.**

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# VISUAL BUILDING INSPECTION REPORT

## Client & Site Information:

### 1.1 COMMISSIONED

BY: Client.

1.2 YOUR CONTACT: Trevor Smith.

1.3 YOUR REF +  
REPORT NUMBER: 7217.

1.4 DATE OF  
INSPECTION:

1.5 CLIENT:

1.6 PROPERTY  
ADDRESS:

### Important Information Regarding the Scope and Limitations of the Inspection and this Report

**This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.  
Part 1: Pre Purchase Inspections - Residential Buildings**  
**If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.**  
**If the property is part of a Strata or Company Title - Appendix B of the Standard applies.**

**Important Information:** Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

**The Purpose of the Inspection:** The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

**The Scope of the Inspection:** The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

**Acceptance Criteria:** The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

**Special Requirements:** It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

**Changes to the Inspection Agreement:** It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

### Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-

2007. **The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

### Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as "*areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers.*" Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

**Roof Interior** - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

**Roof Exterior** - Must be accessible from a 3.6m ladder placed on the ground.

## Property Description:

- 1.7 Building type:** A 5 bedroom, freestanding, single storey dwelling, with a freestanding triple car garage. A swimming pool is located to the rear of the lot.
- 1.8 External walls constructed from:** Brick veneer over a timber frame.
- 1.9 Roof Construction:** Timber trusses.
- 1.10 Roof Covering:** Corrugated steel.
- 1.11 Internal walls covered with:** The interior walls are covered in the following material/s: plasterboard, fibre cement sheeting.
- 1.12 Internal ceilings covered with:** Plasterboard.
- 1.13 Windows are constructed from:** Aluminium.
- 1.14 Footings:** The property is constructed on concrete strip and blob footings.
- 1.15 Extension:** The building appears to have had an extension/addition. This may include pergolas, awnings, decks, additional living areas etc. The purchaser should contact the local council to ensure that the extension/addition has been approved and inspected as required.
- 1.16 Estimate Building Age:** The building appears to be less than 6 years old. The purchaser should check with the local council to ensure that the builder was licensed and has obtained all statutory insurances and that the council as approved and inspected the construction of the building.

## Overall Condition of Property

### 1.17 Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

**Typical:** The frequency and/or magnitude of major defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

### 1.18 Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

**Typical to High:** The frequency and/or magnitude of a **small number of minor to moderate** defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

### 1.19 Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **average**. There may be areas/elements requiring minor repairs or maintenance.

**Important Note:** The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You **MUST** read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary **MUST** be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector **BEFORE** relying on this Report.

## Summary of Areas Inspected:

**1.20 Details:** Internal area: External area: Subfloor area: Roof void: Garage.

**Note:** The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted.

**Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision to purchase being made.**

## Summary of High Risk areas where access should be gained:

- 1.21 Externally:** Areas restricted or impaired to inspect.
- 1.22 Roof void:** Areas restricted or impaired to inspect.
- 1.23 Interior:** Areas restricted or impaired to inspect.
- 1.24 Subfloor:** Areas restricted or impaired to inspect.
- 1.25 Site:** Areas restricted or impaired to inspect.

## Furnished Properties:

**1.26 Was the property furnished at the time of inspection?**

Yes - Where a property was furnished (fully or partly) at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence defects (from minor defects to potentially significant defects). This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case. Inspection to the upperside of flooring was concealed by carpets, rugs or other floor coverings. No inspection was made to the upperside of flooring where floor coverings were present.

## Weather Conditions:

**1.27 Recent Weather Conditions:**

Dry & wet periods.

**1.28 Weather Conditions on the Day and at the Time of Inspection:**

Dry.

# ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

## External Roof:

**2.1 Roof Style:**

The roof is of pitched and skillion construction.

**2.2 Roof Access Limitations:**

No physical access was possible to part of the external roof area due to the roof not being accessible from a 3.6 metre ladder placed on the ground.

**2.3 Roof Covering Condition in Detail:**

The overall condition of the roof coverings is fair to good.

**The pitch of the eastern and southern side verandah roofs appears to be inadequate (less than 5°). This may allow wind driven rain penetration or water ponding and remedial action is required. Evidence of white water staining was identified to the underside of these verandah soffits (ceilings). Further inspection and all remedial action is required to mitigate water entry into the verandah ceiling.**

**2.4 The following action is recommended:**

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

## Flashings:

**2.5 Roof Flashing - Type and Condition:**

Flashings appear to be in serviceable condition. It should be noted that flashings are only viewed from a distance in some areas and sometimes defects are very small and not clearly visible.

## Gutters & Downpipes:

**2.6 Gutters & Downpipes:**

Appear to be in serviceable condition.

The existing downpipes may not be sufficient to service the roof area. Additional downpipes may be necessary.

**Roof guttering appears to be a high front profile. It is recommended to have a licenced plumber further inspect and recommended some modifications to assist in mitigating backflow into the eaves & wall cavity.**



**Evidence of overtopping was identified several sections of the exterior in the form of light water staining to the roof fascia.**

**2.7 The following action is recommended:**

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

## Valleys:

**2.8 Condition:**

The overall condition of the valley metal is good.

## Eaves, Fascias & Barge Boards:

**2.9 Eaves Type & Condition:**

The eaves are lined with fibre cement sheeting. The overall condition of the eaves lining is good.

**2.10 Fascias & Bargeboards Type & Condition:**

The overall condition of the fascias/bargeboards is good.

# ROOF SYSTEM INTERNAL

## Restrictions - Roof Interior:

### 3.1 Access

#### Restrictions:

A section of the roof is of skillion type construction and there is no accessible cavity for inspection.

Inspection over the eaves was restricted due to the low pitch and construction allowing only a limited visual inspection.

Clearance within sections of the roof was too low to allow body access (above northern half of rear rumpus room and southern third above bedroom 1). This allows only a limited visual inspection from a distance to be carried out.

*Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

### 3.2 Inspection

#### Restrictions:

Sarking paper covered tile battens restricting inspection.

The general roof geometry was a partial restriction to inspection.

Ducting associated with air-conditioning or heating restricted inspection.

*Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

## Roof Framing:

### 3.3 Roof Supports - Type and Condition:



The timber truss roof system is adequate for the roof covering apart from the areas outlined below.

**One identified truss bottom chord has been over-cut to accommodate recessed halogen down lighting. The extent of this over cutting has compromised the structural integrity of the affected roof truss. The lights will need to be removed and the trusses repaired accordingly. This will need to be done before occupation.**

**Several recessed halogen downlights are in close proximity and/or contact with timber framing members. This will need to be rectified before occupation so as to afford an acceptable level clearance between the lighting and timber framing.**



Insufficient clearance between light and framing timbers.

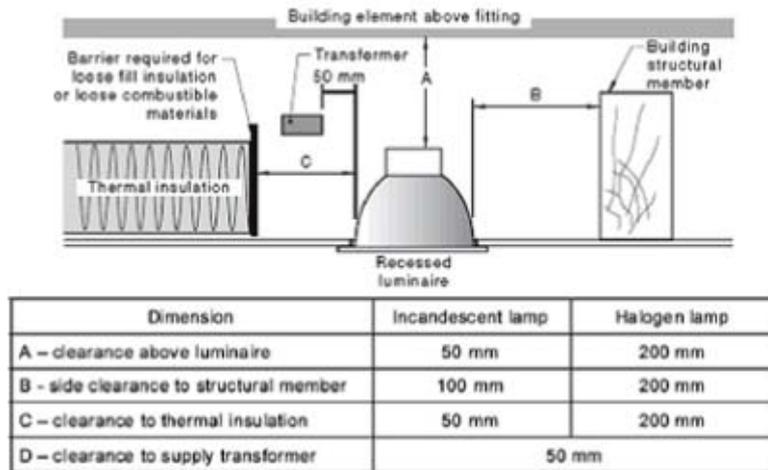


FIGURE 4.7 DEFAULT MINIMUM CLEARANCES FOR RECESSED LUMINAIRES

Diagram for acceptable clearance between framing and downlights.

3.4 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed. A licensed electrician should be called to make a further evaluation and repairs or rectification as needed.

**Insulation & Sarking:**

3.5 Insulation Status: There is no insulation provided to the ceiling cavity.

**3.6 Sarking Status:**



Sarking & thermal insulation has been fitted under the roof covering in the form of anti-condensation blanket.

**Some localised sections of the any condensation blanket have a negative lap and/or sagging. This may result in condensation entering the roof cavity. Repairs are required.**

**3.7 The following action is recommended:**

A licensed roofing contractor should be called to make a further evaluation and repairs or rectification as needed.

**Visible Leaks:**

**3.8 Area:**



**Water staining and drip lines from air-con**  
No visible leakage was identified at the time of this inspection. **However it should be noted that condensation drip line from the air-conditioning unit located in the ceiling cavity was noted. This will need to be rectified.**

# INTERIOR CONDITION REPORT

## Restrictions:

### 4.1 Inspection Restrictions:

Inspection to the upperside of flooring was restricted by carpets. Inspection to some areas was restricted by furniture. Inspection to the interior was restricted by internal linings, cupboards/cabinets, joinery, finishes and fittings. Clothes and personal affects were a restriction within robe/s and linen/s. Inspection to the upperside of flooring was restricted by some rugs. Inspection within the interior was restricted by stored goods to some areas.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

## Ceilings:

### 4.2 Ceiling Condition:

The condition of the ceilings is generally fair to good.

**Minor settlement cracks were noted. Periodic maintenance may be required.**

**Some sections of the interior ceiling may require expansion joints to mitigate cracking.**

**Minor undulations were noted to the ceiling lining. This may be the result of some sagging/detachment. Periodic maintenance may be required.**

**Minor cracking is present to some cornices. This will require maintenance.**

**Poor joint setting was noted to some ceiling lining.**

### 4.3 The following action is recommended:

A licensed plasterer should be called to make a further evaluation and repairs or rectification as needed.

## Walls:

### 4.4 Internal Walls Condition:

The condition of the walls is generally fair to good.

Minor cracking is evident to some wall linings. Periodic maintenance may be required.

## Windows:

### 4.5 Windows Condition:

The condition of the windows is generally fair to good.

**Adjustment is required to some windows to ensure smooth operation.**

**Sill height to some windows is below BCA Standards of 1 metre and may be a hazard. Recommend the sill be raised or a safety rail be installed.**

### 4.6 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

## Doors:

### 4.7 Doors Condition:



Front entry door joinery needs repair

The condition of the doors is generally fair to good. Some doors bind and minor adjustments are required to ensure correct operation.

**The front entry door requires some repairs to joinery.**

**The gapping under the front entry threshold to be suitably trimmed. This threshold may be deemed a trip hazard and may need further modification.**

### 4.8 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

## Floors:

### 4.9 Floors General Condition:

The condition of the floors is generally fair to good. Floors are concealed by floor coverings.

**Some minor peaking was noted to some floor board joints.** This appears to be due to method of fixing. Some localised gapping was identified between the floor joists and floorboards within the subfloor. The length of the floor board fixings could not be determined due to method of construction.

### 4.10 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

## Woodwork:

### 4.11 Woodwork

The condition of the woodwork is generally fair to good.

Evidence of past and active water damage was identified to the bathroom and ensuite doorway architraves and reveals. See Bathrooms.

## Built-In Wardrobes

### 4.12 Type and Condition

The condition of the built-in wardrobes is generally good.

# KITCHEN

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## Kitchen:

### 5.1 Kitchen Fixtures:

The condition of the fixtures is generally good. It is recommended to re-seal around the kitchen sink and to the base of the splashback with a flexible sealant, to make good for waterproofing. Adjustment is required to some door and drawers to ensure smooth operation.

### 5.2 Tiles:

The condition of the tiles is generally good.

### 5.3 Sink & Taps:

The sink and taps appear to be in a serviceable condition. The drain appears serviceable.

# BATHROOMS

**Important Notes:** Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## Main Bathroom:

### 6.1 Shower/Bath Condition:

The shower recess was tested and there was no visible water penetration to surrounding areas, apart from areas outlined below. **IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.

**Water is leaking under the shower screen and should be resealed to the floor and walls.**

**Moisture damage is evident to the bottom of the bathroom doorway architrave.**



Water damage to bottom of door frame

### 6.2 Tiles:

The condition of the tiles is generally fair.

**Some cracked floor tiles were noted to this area. This is potentially due to the process of tile installation (tile on timber). This is a common issue with this method of tile installation. It does not represent a structural deficiency, but as a movement control issue, along with inadequate initial substrate preparation. Any cracks mentioned or appearing in the future should be measured and logged to detect for any excess movement and be repaired when necessary.**

**A flexible sealant should be provided to the gaps between tiled corners and tap surrounds to provide an acceptable finish and prevent water penetration.**

### 6.3 Basin & Taps:

The basin & taps appear serviceable. Drain appears serviceable.

### 6.4 Vanity Unit:

The condition of the vanity unit is generally fair. Wear and tear is noted to vanity cabinet.

### 6.5 Floor/Floor Waste:

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

### 6.6 Ventilation:

An exhaust fan is installed to this area.

### 6.7 The following action is recommended:

A licensed wall & floor tiler should be called to make a further evaluation and repairs or rectification as needed.

## Ensuite Bathroom:

### 6.8 Shower/Bath Condition:

**The shower recess is leaking. Continued leakage may allow damage to surrounding components, of which is occurring. Rectification will be required and the extent of works should be determined by a Licensed Builder.**

**Moisture damage is evident to the bottom of the ensuite doorway revealed.**



Water damaged under ensuite shower

### 6.9 Tiles:

The condition of the tiles is generally fair.

**Some drummy tiles were noted in this area. These will require relaying if they become loose over time.**

**A flexible sealant should be provided to the gaps between tiled corners and tap surrounds to provide an acceptable finish and prevent water penetration.**

### 6.10 Basin & Taps:

The basin & taps appear serviceable. Drain appears serviceable.

### 6.11 Vanity Unit:

The condition of the vanity unit is generally fair. Wear and tear is noted to vanity cabinet.

### 6.12 Toilet Condition:

The toilet appears to be in working order.

**Water staining was noted to the flooring to the underside of this toilet pan. Moisture meter readings were acceptable at the time of inspection however further inspection is required to ascertain if the leak is active.**



Water stain to underside of toilet floor

**6.13 Floor/Floor Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

**6.14 Ventilation:**

An exhaust fan is installed to this area.

## LAUNDRY

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

**Laundry:****7.1 General condition of area:**

This area is generally in good condition.

**7.2 Tub & Taps:**

The tub and taps appear serviceable. Drain appears serviceable.

**7.3 Floor/Floor Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

**7.4 Tiles:**

The condition of the tiles is generally fair.

## TOILETS

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

**Toilet:****8.1 Room Location:**

Adjacent to the bathroom.

**8.2 General condition of area:**

This area is generally in good condition.

An exhaust fan is installed to this area, but is "noisy" when operated.

**8.3 Toilet Condition:**

The toilet appears to be in working order.

**The toilet area is restrictive and the door swings inwards. In case of an emergency, the door cannot be readily removed from the outside. Recommend that lift off hinges be installed to the door to comply with the current BCA standards.**

**8.4 Basin & Taps:**

A basin has not been fitted.

Plumbing provision for a basin appear to have been provided.

**8.5 Tiles:**

The condition of the tiles is generally good.

**Some disintegrating floor tile grout is noted. Some regrouting is recommended.**

**Toilet Two:**

**8.6 Room Location:** Located in the garage.

**8.7 General condition of area:** This area is generally in fair condition.

**8.8 Toilet Condition:** The toilet appears to be in working order.

The toilet pan is loose at the floor and needs to be re-set to stabilise the unit. Leakage is possible at the junction of the waste pipe and damage is possible to the base of the pan. Please contact a Licensed Plumber for repairs.

**The toilet area is restrictive and the door swings inwards. In case of an emergency, the door cannot be readily removed from the outside. Recommend that lift off hinges be installed to the door to comply with the current BCA standards.**

**8.9 Basin & Taps:** The basin & taps appear serviceable. Drain appears serviceable.

**8.10 Tiles:** The condition of the tiles is generally fair.

## EXTERIOR

**Restrictions****9.1 Description**

There is insufficient crawl space below some decking timbers (eastern half of the rear deck and northern half of eastern side deck) due to the method of construction.

Inspection to sections of the exterior was restricted due to the growth of foliage. Foliage must be removed to enable a more complete report to be submitted.

The finished ground height, downpipes, service pipes/conduits, concrete pathways/driveways.

The air conditioner was also a partial obstruction to inspection.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

**External Walls:****9.2 General Condition:**

The condition of the walls is generally fair to good.

The exterior walls are being painted. This can conceal cracking/movement.

It is not uncommon for painted and cement based finishes below damp proof course height to exterior masonry walls to exhibit blistering, discolouration and/or delamination of the paint/finish over time as has occurred to the inspected property. This is due to water and salts rising from soil/fill sands. The acceptable performance standards for a damp proof course (DPC) have been seen to be met at the time of this inspection. Sealing of the affected areas is recommended.

### 9.3 Cracking to Masonry or Concrete Elements:



Lateral movement at damp course height

Cracks/movement are evident to the exterior brickwork at damp course level along with several hairline cracks to various sections of the exterior brickwork. Visible cracking has been categorized as an appearance defect. Cracking of a building element is an appearance defect where in the opinion of the inspector the appearance of the element is blemished however, the expected consequence of this cracking is unknown until further information is obtained. The cause of the cracking appears to be due in part to brick growth and expansion within the masonry walls.

### Lintels:

#### 9.4 Type & Condition:

The lintels are of galvanised steel. The condition of the lintels is generally good.

### Windows:

#### 9.5 Windows Condition:

The condition of the exterior of the windows is generally good.

### External Stairs:

#### 9.6 Type & Condition:

The rear stairs are constructed primarily from timber. The overall condition of the stairs is fair. **It is recommended to modify the stepped to conform with Building Code Comfort Formula.**

The front stairs are constructed primarily from bricks. The overall condition of the stairs is fair to good.

Due to the method of construction or other obstructions there was no access or limited access under the stairs. No comment is made regarding any concealed damage or defect where access was limited or prevented. Complete access should be gained.

#### 9.7 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

### Damp Course:

#### 9.8 Type & Condition:

A polythene damp proof coursing material is visible in the external walls and it should continue to be effective unless damaged or bridged.

# DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

## Verandah:

### 10.1 Position/ Location:

Southern elevation, Eastern elevation.

### 10.2 Construction & Condition:

Constructed from timber. The general condition of this structure is fair.

### 10.3 Roof Construction:

See Roof System External.

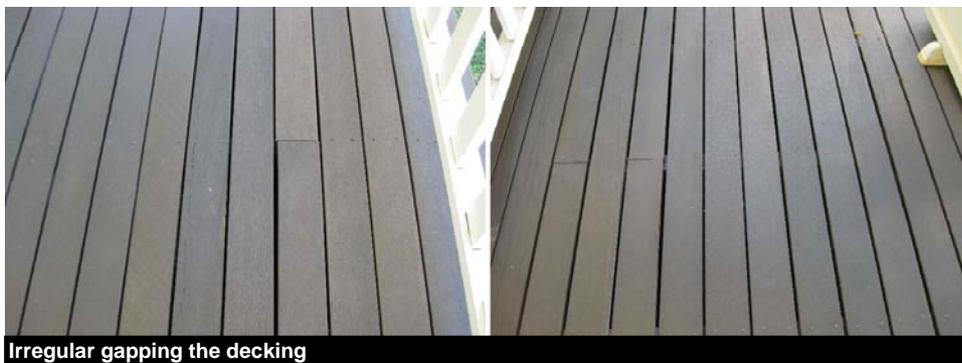
### 10.4 Roof is covered with:

See Roof System External.

### 10.5 Roof Covering Condition Detail:

See Roof System External.

### 10.6 Defects or Maintenance Items:



**Irregular gapping the decking**

See Roof System External.

**The gapping between the timber decking is irregular. This is deemed to be a face defect.**

**Some squeaking/minor movement was noted to several sections of the decking under foot traffic. The decking fastener (nail) may not be adequate and further inspection is recommended.**

**Some fixing/fasteners used on the balustrade present some degree of corrosion. It is recommended to budget for repairs to the balustrading in the short to medium term.**

## Verandah # 2:

### 10.7 Position/ Location:

Rear elevation.

### 10.8 Construction & Condition:

Constructed from timber. The general condition of this structure is fair to good.

### 10.9 Roof Construction:

See Roof System External.

### 10.10 Roof is covered with:

See Roof System External.

### 10.11 Roof Covering Condition Detail:

See Roof System External.

**Landing:****10.12 Position/****Location:**

Off laundry.

**10.13 Construction &****Condition:**

Constructed from timber. The general condition of this structure is fair.

**10.14 Defects or****Maintenance Items:**

Minor wood decay is present to the structure.

**Pergola:****10.15 Position/****Location:**

Within the pool area.

**10.16 Construction &****Condition:**

Constructed from timber. The general condition of this structure is fair.

**10.17 Roof****Construction:**

The roof is of skillion construction.

**10.18 Defects or****Maintenance Items:**

**The timbers support post or in direct contact with the ground. This was a restriction to inspection a conducive to undetected damage by timber pest.**

**Cracked floor tiles are present and require replacement.**

**The drummy floor tiles require repair.**

## SUBFLOOR

**Restrictions:****11.1 Restrictions/  
description:**

There is insufficient crawl space below some decking timbers (eastern half of the rear deck and northern half of eastern side deck) due to the method of construction.

Exterior porches/steps abutting the house were not inspected under, due to method of construction.

No inspection was carried out to brick cavities, or other areas deemed inaccessible due to lack of reasonable access.

Stored goods are present under bedroom 1 and restricted inspection.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

**Ventilation:****11.2 Description:**

The underfloor ventilation appeared to be limited. This may provide conditions that could encourage decay of timber components. Upgrading of the ventilation is recommended. If necessary, contact a Licensed Builder for advise and rectification.

## Sub Floor - Other Defects or Issues:

### 11.3 Details:



Some defects within subfloor

No all areas have ant caps fitted. The purpose of antcapping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the antcapping enabling detection during a pest inspection. Antcapping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit antcapping, this area should be regularly inspected by a Timber Pest Inspector.

The back-filling and levelling of subfloor excavations (spoil) carried out during construction within the subfloor area was never carried out. This may allow water to pool and pond to several areas of the subfloor and will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time.

The shower recess leaks. Damage associated with leakage was identified under the ensuite. Please refer to the Bathroom section of the report for further information.

The subfloor soil sustains evidence of silt trails (indications of water tracking across soil). This pattern of dampness is associated with inadequate drainage. Elevated moisture levels will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay. A further investigation (by a competent person such as a licensed plumbing contractor) is recommended to determine the method and extent of any remedial drainage work required, and associated costs.

Some sections of lead exterior finished ground height are higher than the finished height of the subfloor soil/surface. This will allow for surface water to freely flow into the subfloor and create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time. A further investigation (by a competent person such as a licensed building or plumbing contractor) is recommended to determine the method and extent of any remedial work required, and associated costs.

Water is ponding on the ground under the structure. This may be due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack.

**11.4 The following action is recommended:**

A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

## FOOTINGS

### Footings:

**12.1 Type & General Condition:**

The property is constructed on concrete strip and blob footings.

## GARAGING

### Garage:

**13.1 Garage Location:**

Freestanding to the rear right of the lot.

**13.2 Restrictions to inspection**



Stored items to garage

Access to the rear and eastern side to the garage was restricted by stored items and encumbered access.

Stored items restricted inspection to the interior. Stored items should be removed to enable a more complete report to be submitted.

Engage peers were a partial restriction to inspection.

Some timber partitions surrounding the toilet were a partial restriction to inspection.

A motor vehicle and boat were also stored in the garage.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

**13.3 General Overall Condition:**

The overall condition of the garage is good.

**13.4 Roof Construction:**

The roof is of pitched style construction.

**13.5 Roof Covering:**

Corrugated steel.

**13.6 Roof Covering Condition in Detail:**

The overall condition of the roof coverings is good.

**13.7 External walls constructed from:**

A combination of double and single brick.

**13.8 External Wall General Condition:**

The condition of the walls is generally fair to good.

**13.9 Cracking to Masonry or Concrete Elements:**

Cracks are evident to the exterior brickwork between the front door openings. Visible cracking has been categorized as an appearance defect. Cracking of a building element is an appearance defect where in the opinion of the inspector the appearance of the element is blemished however, the expected consequence of this cracking is unknown until further information is obtained.

The exterior brickwork has been painted. This can conceal cracking/movement.

The obvious expansion joints were identified within the exterior brickwork. This can result in cracking/movement.

**13.10 Front Doors - Type & Condition**

The main garage doors are both panel of style doors and are in good condition.

**13.11 Ceiling Condition:**

There is no ceiling lining present.

**13.12 Internal Walls Condition:**

The condition of the walls is generally good from areas able to be inspected.

**13.13 Footing Type & Condition:**

The building is constructed on a concrete raft slab. Concrete raft slab edge exposure was concealed to inspect by the finished ground height to some or all sections of the slab edge. *This was also an obstruction to visual inspection.* The raft slab edge should have a minimum of unobstructed exposure of 75mm (as per AS3660.1 & 2) from the finished ground height to the base of the exterior cladding, *of which should be applied in the absence of an approved termite barrier.* This condition is conducive to undetected entry and attack by subterranean termites to the building timber members. These areas should also be inspected at regular intervals not exceeding 6 to 12 months.

**13.14 Floor - Type & General Condition**

The concrete floor is generally in fair to good condition.

**13.15 Cracking to  
Masonry or Concrete  
Elements:**

**Appearance cracking to garage floor**

Cracks are evident to the garage floor. Visible cracking has been categorized as an appearance defect. Cracking of a building element is an appearance defect where in the opinion of the inspector the appearance of the element is blemished however, the expected consequence of this cracking is unknown until further information is obtained.

**13.16 Gutters &  
Downpipes:**

Appear to be in serviceable condition.

**Roof guttering appears to be a high front profile. It is recommended to have a licenced plumber further inspect and recommended some modifications to assist in mitigating backflow into the eaves & wall cavity.**

The existing downpipes may not be sufficient to service the roof area. Additional downpipes may be necessary.

**13.17 Lintels - Type  
& Condition:**

The lintels are of galvanised steel. The condition of the lintels is generally good.

# SITE

## Driveway:

### 14.1 Type & Condition:

The concrete driveway stands in fair to good condition. The concrete driveway has some visible cracking that should be monitored for further movement.

## Fences & Gates:

### 14.2 Fences Type & Condition:

The lot is fenced on, three sides. The fences are mainly constructed from metal. The fences are generally in fair to good condition.

## Retaining Walls:

### 14.3 Type & General Condition:

The masonry garden retaining walls present some obvious deformation and should be monitored for any movement.

The masonry driveway retaining walls show normal deterioration along with a slight noticeable deviation from a plum/vertical finish. This wall should be monitored for any movement.

## Paths/Paved Areas:

### 14.4 Type & Condition:

The concrete paths/paved areas are in fair to good condition. The concrete paths/paved areas have some visible cracking that should be monitored for further movement.

## Swimming Pool:

### 14.5 Swimming Pool:

A swimming pool is present. This inspection specifically excludes any inspection of the pool, associated pool equipment and pool surrounds. An inspection should be made by a specialist pool inspector to determine the condition of the pool, pool equipment and surrounds.

Some minor hairline cracking was noted to the pool coping paver. This should be monitored.

From a limited visual inspection of the pool shell (concrete), though obvious cracking (crazing excluded due to inability to determine above waterline) was identified.

**The level of the pool water did appear to deviate slightly off what is assumed to be an original level line of the mosaic dress tiles.**

### 14.6 Pool Fencing:

The appropriate warning signs do not appear to be present. You should check with your Local Council regarding the required signs.

**The following defects will need to be repaired before occupation:**

- **The foliage in contact with the fencing may allow an infant or young child unencumbered access the pool area and should be audited by Certifying Authority, such as Local Council.**
- **It is recommended to audit the surrounding properties for issues that may allow for only covered access to the pool area.**
- **The pool fence gate between the garage and rear fence is not deemed suitable and will need to be replaced with a complying gate and latch system.**



## Drainage - Surface Water:

### 14.7 Description:

The drainage at the right (eastern) side of the property appears inadequate (. As a result, evidence suggests that surface water has been ponding. Poor site drainage can create unstable foundations that may have an adverse structural effect over time. Rectification is required. Drains should be installed to divert seepage and surface runoff water away from the house. The drains



Evidence of ponding east side of house

should be connected to the existing stormwater drainage system. Please contact a Licensed Landscaper or Builder for further information.

Due to inadequate drainage, ground water is ponding or flowing within the subfloor area. Poor site drainage can create unstable foundations that may have an adverse structural effect over time. Rectification is required. Drains should be installed to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. Please contact a Licensed Landscaper or Builder for further information.



Evidence of ponding around air-conditioning.



**Evidence of damp condition at interface of driveway and rear verandah. This may be due to leakage from the downpipe/stormwater and should be further investigated by licensed plumber.**

The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

# SERVICES

**Important Notes:** In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

## Services:

### 15.1 Details:

Smoke detectors are fitted however, the positioning, operation or adequacy was not tested and is not commented on.

Air-conditioning is installed in the premises but has not been inspected.

An alarm system is present, however, the operation or adequacy was not tested.

Bottled gas is connected to the premises but has not been inspected.



Inadequately terminated cabling

**Inadequately terminated electrical cable was identified under the family room. Further testing will need to be carried out by licensed electrician.**

## Water Lines & Pressure:

### 15.2 Details:

The visible water lines are in copper and polybutylene. Water pressure appears to be normal, however, this is not an opinion of a licensed plumber.

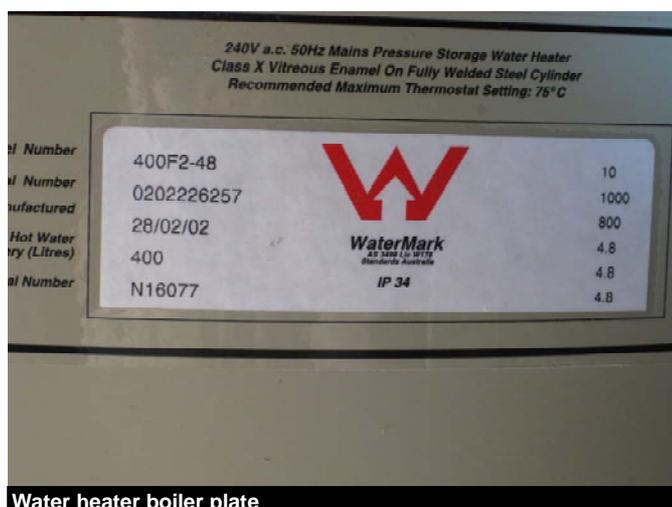
## Waste Water Lines:

### 15.3 Details:

All visible waste water pipes are P.V.C plastic.

## Hot Water Service:

15.4 Hot water is provided by the following:



Water heater boiler plate

Heater capacity: 400L. It is a mains electric hot water system and is off-peak. The heater is under mains pressure. It is located under the house. The hot water system appears to be in working condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise. There does not appear to be a temperature control valve fitted to the water heater. A burn/scald injury is possible. It is recommended that a temperature control valve

be fitted by a Licensed water heating specialist. The heater is in contact with the soil and modification should be carried out to eliminate soil contact.

## Important Information

### Important Information:

**16.0**

The following forms an integral part of the report and **MUST** be read in conjunction with the entire report.

#### General Definitions used in this report:

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

**Good** - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

**Fair** - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

**Poor** - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

**Above Average** - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

**Average** - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

**Below Average** - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

**Appearance Defect** - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect** - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect** - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Accessible Area** - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

#### General and Important Information:

*Note:* In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

**Shower Recesses:** Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the

inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

**Glass Caution:** Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

**Stairs & Balustrades:** Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

**Rooms below ground level:** If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

**Trees:** Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

**The septic tanks:** Should be inspected by a licensed plumber.

**Swimming Pools:** Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

**Surface Water Drainage:** The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/ drainer.

### **Important Information Regarding the Scope and Limitations of the Inspection and this Report**

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. *In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not*

*leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-Purpose Property Report.)**

**4) CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

**5) ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

**6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

**7) Estimating Disclaimer:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

**8) Cracking of Building Elements:** The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

**Appearance Defect:** Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Serviceability Defect:** Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

**Structural Defect:** Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects.

Cracking in a structural element does not necessarily indicate a structural defect.

**9) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -

- ~ the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- ~ information provided by the person, the employees or agents of the person requesting the report;
- ~ the specific areas of expertise of the consultant specified in the report;
- ~ apparent concealment of possible defects; or
- ~ any other factor limiting the preparation of the report.

**10)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:

a) Obtain a statement from the owner as to

i. any Timber Pest activity or damage;

ii. timber repairs or other repairs

iii. alterations or other problems to the property known to them

iv. any other work carried out to the property including Timber Pest treatments

v. obtain copies of any paperwork issued and the details of all work carried out

b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.

**11)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007

**12)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects

**13)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.

**14)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.

However, We may sell the Report to any other Person although there is no obligation for Us to do so.

**15)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

### **IMPORTANT DISCLAIMER**

**DISCLAIMER OF LIABILITY:** -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

**DISCLAIMER OF LIABILITY TO THIRD PARTIES:** - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

### **CONTACT THE INSPECTOR**

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require

any clarification then contact the inspector prior to acting on this report.

..... End Of Report .....

South Coast

# Home✓Check

Home Building Consultants.

Pre Purchase Building & Pest Reporting - Viability & Condition Reporting - Asset Management.

Master Builders Member: 1845299 - HIA Member: 391315.

Accredited Building Consultant - Trevor Smith

HIA Acc. Home Building Consultant.

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Nowra 2541

## **VISUAL TIMBER PEST INSPECTION REPORT**

**In accordance with Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports.**

**This Visual Timber Pest Detection Report is issued subject to the Scope, Limitations, Exclusions and Definitions of Inspection and Report set out in this document.**

**NAME OF CLIENT:**

**ADDRESS OF INSPECTED PROPERTY:**

**DATE OF INSPECTION:**

**YOUR REF + REPORT No: 7217**

**REPORT COMMISSIONED BY: Client**

**Note:** This report should not be relied upon if a contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

**SUPPORT DOCUMENTATION WAS NOT SUPPLIED BY THE CLIENT AT THE TIME OF INSPECTION.**

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# VISUAL TIMBER PEST INSPECTION REPORT

## CLIENT & SITE INFORMATION:

### 1.1 COMMISSIONED

BY: Client.

1.2 YOUR CONTACT: Trevor Smith.

1.3 YOUR REF +  
REPORT NUMBER: 7217.

1.4 DATE OF  
INSPECTION:

1.5 CLIENT:

1.6 PROPERTY  
ADDRESS:

1.7 INSPECTED BY: Trevor Smith.

## TERMS AND CONDITIONS

**THIS IS A VISUAL INSPECTION ONLY** in accord with the requirements of AS4349.3-2010 - Inspection of buildings Part 3: Timber Pest Inspections.

This visual inspection was limited to those areas and sections of the property to which reasonable access (**See Definitions**) was available and permitted on the date and at the time of the Inspection. Inspection has been made in the areas where infestation is most likely to occur. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests or damage which may only be revealed when the items are moved or removed. Inspection of fence lines and posts is restricted to those timbers above ground level and facing the property inspected. The inspection does not extend nor should comments be inferred in respect to timbers, palings, fence posts below ground level, or where timbers are obstructed by plant life or overgrowth or other materials which restrict or prevent physical bodily access. No inspection is inferred to areas of trees or external areas over 3.6 metres above the natural ground level.

## LIMITATIONS

Nothing contained in the Report implies that any inaccessible or partly inaccessible area(s) or section(s) of the property being inspected by the Inspector on the date of the inspection were not, or have not been, infested by Timber Pests. Accordingly, this Report is NOT A GUARANTEE that an infestation and /or damage does not exist in any inaccessible or partly inaccessible area(s) or section(s) of the property, nor is it a guarantee that a future infestation of Timber Pests will not occur or be found. Australian Standard Termite Management Part 2: In and around existing buildings and structures (AS 3660.2-2000) recommends that properties should be inspected at least every twelve (12) months but more frequent inspections are strongly recommended.

## SCOPE OF REPORT

This report is confined to the reporting on the discovery, or non discovery, as the case may be, of infestation and/or damage caused by subterranean termites (white ants), borers of dry seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), by visual inspection of those areas and sections of the property accessible to the Inspector at the time and on the date of inspection. The inspection did not cover any other pests and this Report does not comment on them. Dry wood termites ("Family: KALOTERMITIDAE") were excluded from the inspection, but have been reported on if, in the course of the inspection, any visible evidence of infestation happened to be found. No liability shall be accepted on account of failure of the within Report to notify of any Timber Pest activity and/or damage present at or prior to the date of the within Report in any area(s) or section(s) of the subject property physically inaccessible for inspection or to which access for inspection is denied by or to the Inspector (including but not limited to) any area(s) or section(s) so specified by the within Report. This report does not and cannot state the extent of any damage. It is NOT a structural damage report. Any mention within this report relating to extent of any damage has been done with the sole intent of assisting with determining possible treatment specifications or options and must not be used by any party as a guide to the extent of damage for the purpose of

estimating repairs or replacement costs. If any past or present infestation or damage is noted in this Report, whether this damage is to the structure or the surrounding grounds, it is strongly recommended that a qualified person such as a Builder, Engineer, Architect or other qualified expert in the Building Trade be asked to determine the extent of damage to the property **and an invasive inspection must be carried out to determine any concealed timber pest damage or activity.** Where such evidence of timber pest activity or damage is reported, then it must be assumed there may be some hidden timber damage and/or structural damage and this should be further investigated.

### **IMPORTANT INFORMATION**

Any person who relies upon the contents of this Report does so acknowledging that the above clauses define the Scope and Limitations of the inspection and form an integral part of the report. The Report is made solely for the use and benefit of the Client named on the front of this Report and no liability or responsibility whatsoever, in contract or in tort, is accepted to any third party who may rely on this Report wholly or in part. Any third parties acting or relying on this report do so at their own risk.

## **BRIEF SUMMARY**

### **IMPORTANT DISCLAIMER**

This Brief Summary is supplied to allow a quick and superficial overview of the inspection results. This summary is **NOT** the Report and **cannot be relied upon on its own.**

This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Summary and anything in the Report then the information in the Report shall override that of this Summary.

**For complete and accurate information, please refer to the following report.**

### **ACCESS**

#### **2.1 Any area(s) to which access should be gained:**

Other than some areas such as eaves and other normally inaccessible areas due to construction methods, along with areas outlined within this inspection report, normal access was gained. Please read the report. You should arrange access to an area or areas of the property and arrange another inspection. Please read the report. See details under heading - interior, external areas, roof cavity, subfloor, garaging.

**Recent Weather Conditions:** Dry & wet periods.

**Weather Conditions on the Day and at the Time of Inspection:** Dry.

### **TIMBER PEST ACTIVITY OR DAMAGE**

#### **2.2 Active termites found:**

At the time of the inspection no visible evidence of termite activity (live termites) was found in the areas able to be inspected. Please read the report.

#### **2.3 Damage caused by termites found:**

At the time of inspection no visible evidence of termite damage was found in the areas able to be inspected. Please read the report.

#### **2.4 Damage caused by borers found:**

At the time of the inspection no visible evidence of borer activity or damage was found in the areas able to be inspected. Please read the report.

#### **2.5 Damage caused by wood decay found:**

Evidence of damage resulting from wood decay fungi (wood rot) was found. Please read the report.

## DESCRIPTION OF STRUCTURE(S) INSPECTED

### 2.6 The property inspected is a

A 5 bedroom, freestanding, single storey dwelling, with a freestanding triple car garage. A swimming pool is located to the rear of the lot.

## ROOF

Inspection within any accessible roof cavity will normally be limited by a number of factors including the method of construction, low pitched or inaccessible sections, insulating materials, ducting and in some instances, stored items.

### Evidence of active timber pests

#### 3.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

### Restrictions to Access

#### 3.2 Access Restrictions

A section of the roof is of skillion type construction and there is no accessible cavity for inspection.

Inspection over the eaves was restricted due to the low pitch and construction allowing only a limited visual inspection.

Clearance within sections of the roof was too low to allow body access (above northern half of rear rumpus room and southern third above bedroom 1). This allows only a limited visual inspection from a distance to be carried out.

*Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

### Restrictions to Inspection

#### 3.3 Inspection Restrictions

Sarking paper covered tile battens restricting inspection.

The general roof geometry was a partial restriction to inspection.

Ducting associated with air-conditioning or heating restricted inspection.

*Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

## INTERIOR

### Evidence of active timber pests

#### 4.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

### Restrictions:

#### 4.2 Inspection Restrictions

Inspection to the upperside of flooring was restricted by carpets. Inspection to some areas was restricted by furniture. Inspection to the interior was restricted by internal linings, cupboards/cabinets, joinery, finishes and fittings. Clothes and personal affects were a restriction within robe/s and linen/s. Inspection to the upperside of flooring was restricted by some rugs. Inspection within the interior was restricted by stored goods to some areas.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

### Conducive conditions

#### 4.3 Description:

Leaking showers/wet areas can provide a free source of moisture for termites and leaking showers will need to be repaired. The following areas sustain leaks: ensuite.

## SUBFLOOR - SUBSTRUCTURE

### Evidence of active timber pests

#### 5.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

### Restrictions

#### 5.2 Restrictions/ description

There is insufficient crawl space below some decking timbers (eastern half of the rear deck and northern half of eastern side deck) due to the method of construction.

Exterior porches/steps abutting the house were not inspected under, due to method of construction.

No inspection was carried out to brick cavities, or other areas deemed inaccessible due to lack of reasonable access.

Stored goods are present under bedroom 1 and restricted inspection.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

### Conducive conditions

#### 5.3 Description

No all areas have ant caps fitted. The purpose of antcapping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the antcapping enabling detection during a pest inspection. Antcapping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit antcapping, this area should be regularly inspected by a Timber Pest Inspector.

The back-filling and levelling of subfloor excavations (spoil) carried out during construction within the subfloor area was never carried out. This may allow water to pool and pond to several areas of the subfloor and will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by

subterranean termites and wood fungal decay, and may influence footings/foundation over time.

The shower recess leaks. Damage associated with leakage was identified under the ensuite. Please refer to the Bathroom section of the report for further information.

The subfloor soil sustains evidence of silt trails (indications of water tracking across soil). This pattern of dampness is associated with inadequate drainage. Elevated moisture levels will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay. A further investigation (by a competent person such as a licensed plumbing contractor) is recommended to determine the method and extent of any remedial drainage work required, and associated costs.

Some sections of lead exterior finished ground height are higher than the finished height of the subfloor soil/surface. This will allow for surface water to freely flow into the subfloor and create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time. A further investigation (by a competent person such as a licensed building or plumbing contractor) is recommended to determine the method and extent of any remedial work required, and associated costs.

Water is ponding on the ground under the structure. This may be due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack. See also Drainage - Surface Water in Building Condition Report.

## VENTILATION

### Subfloor Ventilation

#### 6.1 Description

The underfloor ventilation appeared to be limited. This may provide conditions that could encourage decay of timber components. Upgrading of the ventilation is recommended. If necessary, contact a Licensed Builder for advise and rectification.

## EXTERNAL TIMBERS

### Evidence of active timber pests

#### 7.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

Wood fungal decay was noted to accessible areas at the time of inspection.

### Wood decay damage found

#### 7.2 Description

Yes - Wood decay damage was noted to the following timbers/areas.

#### 7.3 Affected external timbers

Wood decay is present to the laundry exterior landing structure.

#### 7.4 Severity

Visible timber damage appears minor. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

## Restrictions

### 7.5 Description

There is insufficient crawl space below some decking timbers (eastern half of the rear deck and northern half of eastern side deck) due to the method of construction.

Inspection to sections of the exterior was restricted due to the growth of foliage. Foliage must be removed to enable a more complete report to be submitted.

The finished ground height, downpipes, service pipes/conduits, concrete pathways/driveways.

The air conditioner was also a partial obstruction to inspection.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

## Conducive Conditions

### 7.6 Description

- Some taps discharge water directly adjacent to the foundation area. Moist conditions such as this are highly conducive to termite attack. This situation should be rectified.
- Garden beds and vegetation are in direct contact with the house exterior. This was an obstruction to visual inspection and is conducive to bridging undetected entry by subterranean termites to the dwelling and the said garden beds/vegetation should be removed/lowered.
- Water is ponding on the soil adjacent to the building structure. This may be due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack.
- The hot water system overflow is discharging moisture adjacent to the structure. We recommend the overflow be situated over a drain.
- Some gutters and/or downpipes appear to discharge rainwater directly adjacent to the foundations of the structure. These should be connected to a stormwater dispersal system.
- Trees and stumps on some surrounding lots, are typical of those chosen by termites for the establishment of colonies, and are within a 50 metre radius of the inspected dwelling. This reinforces the need for regular careful inspection. It is recommended to remove any existing stumps and do a core temperature test to suspect trees on the property to ascertain if an infestation is present.
- Where exterior porches, steps, ramps etc abut the house directly and bridge termite barriers the risk of undetected entry is high, and modification of the element/s will need to take place. This condition existed with the inspected property and should be monitored/rectified.
- The rear pergola timber support posts are in contact with soil. These should be modified to reduce the risk of concealed termite entry.
- The pool pump enclosure in some fence posts are in direct contact with the garage exterior and close to, or in contact with the ground. This was an obstruction to visual inspection and is conducive to bridging undetected entry by subterranean termites to the dwelling and the said members should be modified to allow sufficient access for a visual inspection, and ideally not be in contact with the building.

# FENCES

## Comments:

### 8.1 Not inspected because

All the fences are of non timber construction.

# GARAGE/S

## Description of garaging

### 9.1 Describe garaging

A freestanding triple car garage.

## Evidence of active timber pests

### 9.2 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

## Restrictions

### 9.3 Description

Access to the rear and eastern side to the garage was restricted by stored items and encumbered access.

Stored items restricted inspection to the interior. Stored items should be removed to enable a more complete report to be submitted.

Engage peers were a partial restriction to inspection.

Some timber partitions surrounding the toilet were a partial restriction to inspection.

A motor vehicle and boat were also stored in the garage.

*Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.*

## Conducive Conditions

### 9.4 Description

Inspection of the concrete floor slab edge was restricted. In our experience, termites most commonly enter over the slab edge and therefore we recommend modifications be made to expose the slab edge, see Section 4.0 - Concrete Slab Homes (part or full). The following items restricted access to the edge of the slab - the pool pump housing, soil and concrete.

## OUTBUILDING/S

### Description of Outbuildings

**10.1 List of outbuildings**                      A pergola.

### Evidence of active timber pests

**10.2 Details**                              No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

### Restrictions

**10.3 Description**                      Timber finished below ground height was a restriction to inspection.

### Conducive conditions

**10.4 Description**                      **The timbers support post or in direct contact with the ground. This was a restriction to inspection a conducive to undetected damage by timber pest.**

## EVIDENCE OF TREATMENT

It is not always easy to determine if a property has been treated for subterranean termites particularly if such a treatment was carried out during construction or the evidence of a treatment has been concealed. Treatments may consist of physical or chemical barriers or a combination of both. This summary of treatment evidence is in no way conclusive. Where no visible evidence of treatment was found, it does not necessarily mean that the property was not or has not been treated. Some signs of treatment are not readily visible during an inspection. Where any evidence of a termite treatment was noted, and the treatment was not carried out by this firm, we can give no assurances with regard to the work performed or other work carried out as a result of timber pest attack. Further enquires should be made and any documentation obtained to verify work carried out.

### Evidence of termite treatment to the property

**11.1 Description**                      There was no visible evidence of previous termite treatment.

**11.2 Treatment Recommendations**                      It is recommended to source a treatment proposal from a licensed pest controller to assist in mitigating the risk of termite attack to the dwelling by the use and installation of chemical and non-chemical barriers, due to the degree of risk as outlined within this report.

## SUMMARY IN DETAIL

### IMPORTANT NOTE:

**12.0** This summary must be read in conjunction with the entire report. Some comments and recommendations may be contained in the body of the report and not in the summary. The information contained in the terms and conditions, the body of the report, the summary and general information form the complete report.

**12.1 SUMMARY** Inspection revealed no evidence of active timber pest infestation to visible areas and visible timbers at this time. It is possible that timber pest damage or activity may exist in concealed timbers or areas and no comment is made in respect to these concealed timbers or areas. All properties are considered at risk of attack by termites. The risk can be reduced if the property is treated in compliance with Australian Standard 3660. The property should be inspected on a regular basis at intervals not exceeding 12 monthly or more frequently if recommended in the body of this report.

## RISK FACTOR

The time at which the property should next be inspected and the susceptibility generally of the property to termite attack have been determined in the following assessment. Points have been allocated for various factors that will contribute to the susceptibility of a property to future termite attack.

### Note on Conducive Conditions:

Conducive conditions are those factors that increase the risk of attack by termites. These can include but are by no means limited to lack of access to underfloor voids (if present), slab on ground areas, untreated timbers in contact with soil, moist or damp conditions etc.

### Determining risk factor and suggested inspection frequency

<b>13.1 Geographical Location</b>	3 Points - Any state or territory of Australia excluding Tasmania and Victoria.
<b>13.2 Floor Construction Type</b>	1 Point - All suspended floor.
<b>13.3 Accessibility</b>	2 Points - In general, access for inspection was considered fair.
<b>13.4 Termite barrier system installed</b>	2 Points - Evidence of partial compliance with the treatment requirements of AS 3660 was noted. Please note, this is a general observation only. The vendor of the property may have documentation supporting compliance with the Australian Standard. Copies of documentation should be obtained.
<b>13.5 Termite Attack</b>	1 Point - No evidence of termite attack was found to inspected and accessible areas at the time of inspection.
<b>13.6 Conducive Conditions</b>	3 Points - Evidence of more than one condition conducive to termite attack was observed - see note on conducive conditions.
<b>13.7 Inspection Frequency</b>	When all the points noted above are added together, the property is rated as follows: The property scored 12 points or lower, therefore the risk of future termite attack is considered MODERATE and twelve (12) monthly inspections are recommended.

**Important Note:** Where evidence of active termites attacking the building or grounds were found, then an inspection is recommended within three (3) months of the appropriate treatment being completed.

# IMPORTANT INFORMATION

**14.1 PLEASE NOTE:** The following information is very important and forms an integral part of this report.

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

## 1.0 DEFINITIONS

For the purpose of this inspection, the definitions below apply.

**1.1 Active** - The presence of live timber pests at the time of inspection.

**1.2 Inactive** - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

**1.3 Minor** - Damage that is surface damage only and does not appear to require any timber replacement or repairs to be carried out.

**1.4 Moderate** - Damage that is more than surface damage but is unlikely to necessitate any timber replacement or repairs to be carried out.

**1.5 Severe** - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. A builder's opinion must be sought in the case of severe damage.

**1.6 Timber Damage** - Where this report includes comments in relation to the severity of timber damage, it must be understood that this is not a qualified builder's opinion. It is essential that any timber damage be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

## 2.0 REASONABLE ACCESS

Only areas to which reasonable access is available were inspected. The Australian Standard 4349.3 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods. Access will not be available where there are safety concerns.

### Roof Interior

The dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl.

### Subfloor

Access hole = 500 x 400mm - Crawl space (timber floor) = 400mm to bearer, joist or other obstruction, (concrete floor) = 500mm.

### Roof Exterior

Must be accessible from a 3.6m ladder placed safely on the ground.  
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### **3.0 A MORE INVASIVE AND PHYSICAL INSPECTION IS AVAILABLE AND RECOMMENDED**

This inspection was a visual inspection only. As detailed above, there are many limitations to this visual inspection. With the written permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting of insulation, moving stored items, furniture or foliage during the inspection. We will physically touch, tap, test and where necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner and must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price available on request.

### **4.0 CONCRETE SLAB HOMES (Part or full slab)**

Homes constructed on concrete slabs pose special problems with respect to detecting termite attack. If the edge of the slab is concealed by garden beds, lawns, paths, pavers or any other obstructions then it is possible for termites to effect concealed entry into the property. They can then cause extensive damage to concealed framing timbers before being detected. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings or other obstructions. Only when the termites attack timbers in the roof void, which may be concealed by insulation, or some other visible timbers, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers (if present) may be extensively damaged. **With a concrete slab home (part or full) it is imperative that you expose the edge of the slab. This may involve the excavation of soil or the complete removal of garden beds, paths, pavers or other features which concealed the slab edge. It is recommended that at least 75 millimetres of the slab edge above ground level remain exposed at all times to facilitate the detection of termite entry. Weep holes must also be kept free of obstructions at all times.**

### **5.0 EVIDENCE OF TERMITE DAMAGE**

Where evidence of termite damage was noted in any structure or on the grounds of the property, you must understand that termite damage or activity may exist in concealed areas. Termites are secretive by nature and they will often temporarily desert their workings to later return. As damage or activity may exist in concealed or inaccessible areas, a further INVASIVE INSPECTION is strongly recommended, see Section 3.0 - Further Invasive Inspections. Additionally, regular inspections are strongly recommended at intervals not exceeding 12 monthly and more frequently if recommended.

### **6.0 SUBTERRANEAN TERMITES**

**No Property is safe from termites!** Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forests shows 1 in every 4 homes are attacked by termites at some stage in their life. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world.

**How termites attack your home!** The most destructive species live in large underground nests containing several hundred thousand timber-destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single termite colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres or more to enter your home. Concrete slabs do not act as a barrier as termites can penetrate cracks through the slab or over the slab edge.

**Termite Damage!** Once in contact with the timber they can excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and can be costly to treat.

### **7.0 BORERS OF DRY SEASONED TIMBERS**

Borers are the larval stage of various species of beetle. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae that bore through the timber. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle that cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes that their presence can be detected.

**Anobium punctatum borer (furniture beetle).** Commonly attack softwood flooring timbers, shelving timbers and timber panelling. They have the potential to cause severe timber damage if left untreated for many years. Attack by this beetle is usually observed in timbers that have been in service for 10 to 20 years or more.

**Lyctus brunneus borer (powderpost beetle).** These borers only attack the sapwood of certain susceptible species

of hardwood timber. Since it is a requirement that the structural timbers contain no more than 25% Lyctus susceptible sapwood, these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved or required.

**END TIMBER PEST INSPECTION REPORT.**